

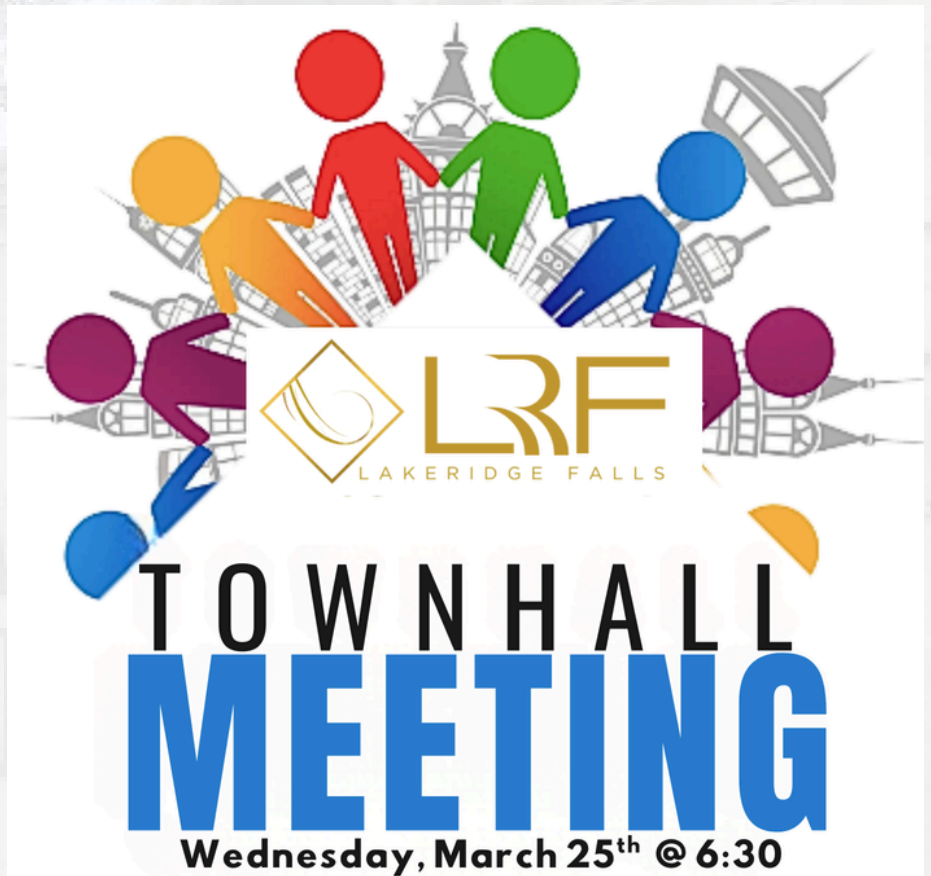
# ODED'S WEEKLY REPORT

03-20-2026

**TOWNHALL MEETING** - In an effort to foster greater communication and to listen to residents' needs and wants, the Board of Directors approved during its last meeting a new initiative called **Townhall Meeting!** These sessions are designed to provide an open forum for homeowners to share their feedback, ask questions, and stay informed about ongoing projects and community decisions. For this reason, the Board encourages everyone to attend and participate, helping to strengthen the sense of community and ensure that all voices are heard.

We are more than excited to announce that the first meeting is scheduled to take place next Wednesday, March 25th, at 6:30 pm, at the Grand Salon and on Zoom (Meeting ID: 827 9431 7894 Passcode: 404040). The Board advised that the topics will be selected from emails received by Midnight of Monday, March 23<sup>rd</sup>. Please make sure to email your topic to [linda@cowett.us](mailto:linda@cowett.us). Time on topic will be determined by the number of emails received on topic. Furthermore, speakers will be determined by the order of the emails received. Please make sure to participate!

**RESIDENTS DIRECTORY** - This is a final reminder that the 2026 Residents Directory is now available. As every year, residents are invited to pick up their directory at the LakeRidge Falls Clubhouse. As previous year, you will **NOT** be required to sign your name when picking up a copy. As in the past, this year's directory is provided to you at no cost thanks to the outstanding generosity of three businesses that agreed to advertise with the Association. Please show your support to those small businesses by considering their services. Also, a big thank you to Ms. Jo Mooy for providing us with the amazing cover picture. Please remember that each household is eligible to receive one copy of the directory. If you take more than that, we may need to print more copies, which would result in unnecessary expenditure. Thank you in advance for your attention to this matter.



Wednesday, March 25<sup>th</sup> @ 6:30

In the Grand Salon & on Zoom

**The Board Welcomes Your Input!**

General Procedures to be followed:

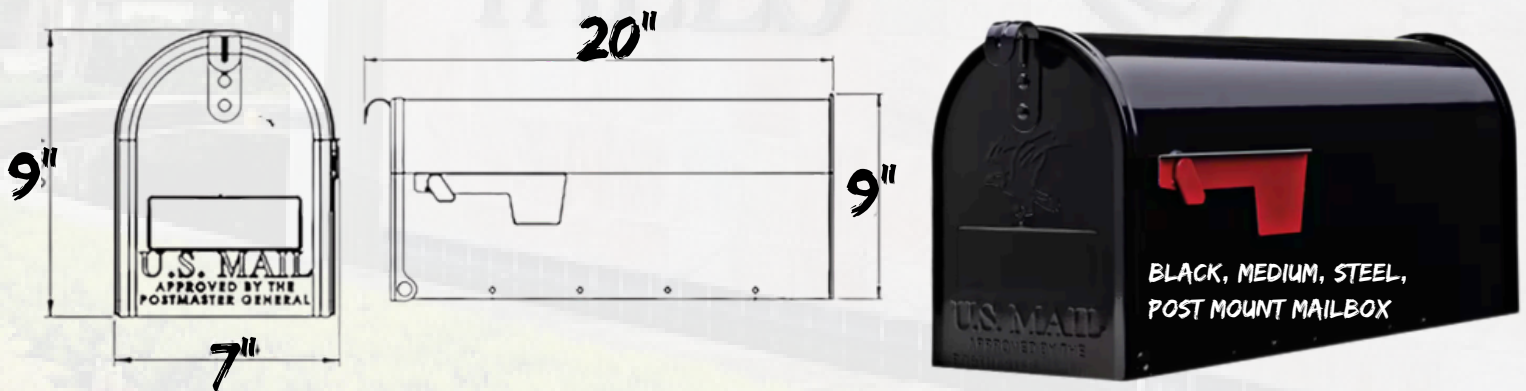
- Topics will be selected from emails received by Midnight Monday March 23<sup>rd</sup>
- Time on Topic will be determined by number of emails received on Topic
- Speakers will be determined by order of the emails received
- Please include topic and a proposed solution or desired outcome in your email
- Send your email to [linda@cowett.us](mailto:linda@cowett.us)

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03-20-2026

**PAINTING OF MAILBOXES** – As some may know, the Association is in the process of painting all 399 mailboxes in the community. Here is why. Back in 2013, the Association assumed the responsibility for painting all 399 mailboxes in the community, including the posts and flags. The rationale behind the decision, besides the obvious economic scale reason, is to ensure a harmonized look throughout the community. As with the case of the cleaning of the driveways and the sidewalks, the Association discovered that when homeowners are painting their mailboxes on different schedules, there is a negative impact on the Association's general appeal. In addition, the fact that homeowners are using different products, for example, glossy vs. matte look. And indeed, it is hard to miss the significant impact the work performed by Mr. Tamas Pataki has on the general look of the community.

It is important to note that while the Association is responsible for painting all mailboxes, the ongoing maintenance of the mailboxes, posts, brackets, post numbers, and flags remains the responsibility of individual residents. Homeowners should ensure their mailbox components are kept in good condition. If your mailbox does not close properly or does not have a flag, for example, it is your responsibility to repair or replace the mailbox. Furthermore, if you have an unapproved mailbox, such as plastic, large, etc., you will be required to replace it with the appropriate one, as can be seen in the picture below and measurements below. Therefore, we kindly ask all homeowners to be proactive on this matter. Thank you so much for your attention and assistance in this matter.



**UPDATED COMMITTEE STRUCTURE POLICY** – Also during its last meeting, the Board of Directors approved a revised Committee Structure Policy. As you may know, the Board of Directors adopted a few years back a policy that laid out the structure, authority, and responsibility of the Association's committees. Since then, the various Boards of Directors gained valuable knowledge, which led them to the realization that some adjustments needed to be adopted to promote participation, efficiency, and productivity. Therefore, to ensure there is a quorum during committee meetings, hence ensuring a committee meeting can take place, the Board added the following bulletin to the current policy:

***“Two consecutive absences from duly called committee meetings, without advance notice, will be deemed a resignation from the committee.”***

With this in mind, we urge all members and residents to take a moment and read the entire revised policy. A copy of this policy is available on the Association website, on the portal, and attached to this Weekly.

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Furthermore, please remember that committees play a vital role in the operation of LakeRidge Falls. It is, therefore, that we encourage all to join one of the Association's committees. Remember, volunteering helps to ensure this community remains one of the best communities to live in both Manatee and Sarasota Counties.

**POOL RACK DONATION** – Also during its last meeting, the Board of Directors accepted a super generation donation by Mr. Ron Ott, a long-time member of the community. The donation came in the form of a handmade, wood-crafted, deluxe pool cues wall rack. It will be unfair to describe the craftsmanship of Mr. Ott and his generosity in words, so we will let a picture do all the talking. We are sure all would join us with thanking Mr. Ott for his amazing work and donation.



Have a quiet and safe weekend,  
Oded Neeman, LakeRidge Falls Community Manager

# COMMITTEE STRUCTURE POLICY

APPROVED: 03/13/2026

Committees play a vital role in the operation of the LakeRidge Falls Community Association Inc. As such, members and residents are encouraged to play a part in the operation of the community by serving on various committees of interest to them. Article V, Committees, of LakeRidge Falls' By-Laws, states "the Board of Directors may create committees as it deems appropriate to perform such tasks and to serve for such periods as the Board of Directors may designate by resolution. "

The following committees are presently established as standing committees:

- Architectural Review Board (ARB) – guided by Article V, Architecture and Landscaping, 5.2 Architectural Review, and ARB Procedures for Electing Members.
- Budget
- Buildings
- Community Relations (CRC)
- Landscape
- Pool
- Roads & Grounds
- Security

Committees shall serve at the pleasure of the Board of Directors in an advisory role. The committees shall also assist the Board of Directors in establishing policies and researching areas of interest.

Committees shall exercise only such authority as granted by Board resolution. The Board may or may not elect to follow a committee's advice on any matter. Committees may not act without specific Board authority and may not bind the Association contractually or financially. For this purpose, mission statements were drafted and approved by the various Board of Directors.

Committees are formed each year in February. Starting in December, interested members and residents may volunteer and complete the sign-up sheet regarding experience as appropriate with a committee's function.

At its first organizational meeting, the new Board of Directors shall appoint at least one Board member to act as liaison to each committee for the purpose of advising and guiding the committee. The Board of Directors may review the composition of each committee for membership assignment.

Once established and approved by the Board of Directors, the liaison will call the first committee meeting to order. It is thereafter the duty of the members of the committee to elect a chairperson



# COMMITTEE STRUCTURE POLICY

APPROVED: 03/13/2026

from their ranks and to establish a regular meeting date and time. The liaison will coordinate communication with the board and assist the chair as needed. The Board of Directors reserves the right to establish and amend general guidelines for committees as it sees fit. The current general guidelines for committees:

- Committees may be assigned projects, research, and/or tasks by the Board of Directors.
- Committees will seek approval from the Board of Directors to address projects/problems they identify before proceeding to do so.
- Committee members are forbidden from maintaining and/or attempting to maintain any area in which the Association has or assumed maintenance and other responsibilities.
- Committees are responsible for oversight of areas consistent with their mission/goals.
- Committees should recommend “not to exceed” dollar amounts for suggested projects.
- Committees may establish Task Forces as they deem necessary to assist in assigned research.
- Committee recommendations for project funding shall: (1) be shared with the community by means of an open workshop hosted by the Budget Committee and then (2) submitted to the Board of Directors for consideration of conditional approval subject to its review and approval of the final budget.
- Committees will not enter into any contract with a vendor or company.
- Committees’ meetings shall be made available to members and residents on at least one web-hosted service, such as Go-To-Meeting or Zoom.
- Two consecutive absences from duly called committee meetings, without advance notice, will be deemed a resignation from the committee.

